

Item 5.**Development Application: 15-17 William Street, Alexandria - D/2020/1059**

File No.: D/2020/1059

Summary

Date of Submission:	The application was lodged on 19 October 2020.
Applicant:	David Findlay
Architect:	Derek Raithby Architecture
Owner:	Balglen Pty Ltd.
Planning Consultant:	ABC Planning
DAPRS:	2 February 2021
Cost of Works:	\$8,814,325
Zoning:	The proposed multi-dwelling houses are permissible with consent within the B4 Mixed Use Zone.
LPP reporting history:	<p>The subject Development Application was previously reported to the Local Planning Panel (LPP) on 30 June 2021. The application was recommended for refusal (refer to Attachment D). The Panel resolved to defer consideration of the application to a subsequent meeting.</p> <p>The Panel stated in their resolution (at Attachment E) that there appears to be reasonable potential that the additional information required by Council's assessing officers can be submitted by the applicant within a maximum of 21 days, and that the application can be reported to a subsequent meeting of the LPP.</p> <p>The applicant has subsequently provided amended plans and supporting documents that address the key reasons for refusal including:</p>

- SEPP 55 - The applicant has provided a Remedial Action Plan that has been reviewed by an accredited site auditor. Contamination reports have been reviewed by Council's health and building specialists, who have confirmed the site can be made suitable for intended residential land uses;
- FSR - The amended application includes amended gross floor diagrams that confirm the application does not breach the SLEP2012 floor space ratio standard;
- Residential amenity - Amended plans increase the separation distance between dwellings and subject to recommended conditions, provide an adequate outlook and visual privacy mitigation; and
- Landscaping - Planter beds have been enlarged at the centre of the site and deep soil areas have been increased at the William Street frontage.

The amended development is considered suitable for the site, subject to conditions of consent mitigating visual privacy impacts between dwellings and stormwater connection.

Proposal Summary:

The proposal involves the demolition of an existing warehouse, excavation for a basement level and the remediation of the site.

It is proposed to construct 14 x 3-4 storey multi dwelling 'terraced' houses. 7 x dwellings are proposed facing William Street and 7 x dwellings are proposed facing William Lane. Torrens Title (stratum) subdivision of the site is proposed, including a common basement.

In accordance with the Local Planning Panels Direction, the application is required to be determined by the Local Planning Panel. This is due to the applicant having made a public benefit offer to Council. The offer is to provide a contribution towards community infrastructure in the Green Square locality, pursuant to Clause 6.14 of the Sydney Local Environmental Plan 2012 (SLEP2012).

As there are no identified infrastructure projects within close proximity to the site, the public benefit offer is in the form of a monetary contribution towards Green Square community infrastructure. This commitment is incorporated into a Voluntary Planning Agreement (VPA). The VPA will be publicly notified for 28 days. It is recommended that determination of the application be delegated to the CEO to allow exhibition and execution of the VPA.

In accordance with Clause 6.14 of SLEP2012, the contribution allows for an additional FSR provision of 0.5:1 and a total FSR of 1.5:1 (1,651.5sqm of GFA). The amended proposal has an FSR of 1.44:1 (1,587sqm of GFA) and complies with the relevant SLEP2012 development standard.

The application was originally notified for 21 days, in accordance with Council's Community Participation Plan. Two (2) submissions were received objecting to the proposal. Issues raised include excessive building scale, visual privacy and solar access.

Amended drawings lodged since the 30 March 2021 LPP meeting show changes to the proposed development that reduce the bulk of the development. The changes do not significantly alter the substance of the development and do not result in any increase in building height. As such, the amended drawings have not been re-notified to neighbouring properties.

The amended application satisfies the relevant development standards of the Sydney Local Environmental Plan 2012 and Sydney DCP 2012.

Conditions of consent are recommended to address visual privacy impacts between dwellings, to maximise the volume of landscaped planter beds at the centre of the site and to require amendments in relation to the disposal of stormwater. Subject to recommended design conditions and notification and execution of the VPA the proposal is supported.

Summary Recommendation: Authority be delegated to the Chief Executive Officer to determine the application following the conclusion of the public exhibition of the Voluntary Planning Agreement and considering any public submissions received in response.

Development Controls:

- (i) Environmental Planning and Assessment Act 1979 and Regulation 2000;
- (ii) State Environmental Planning Policy No 55— Remediation of Land;
- (iii) State Environmental Planning Policy (Infrastructure) 2007;
- (iv) State Environmental Planning Policy (BASIX) 2004;
- (v) Sydney Local Environmental Plan 2012 (Gazetted 14 December 2012, as amended);
- (vi) Sydney Development Control Plan 2012 (in force on 14 December 2012, as amended); and
- (vii) City of Sydney Development Contributions Plan 2015.

Attachments:

- A. Recommended Conditions of Consent
- B. Selected Drawings
- C. Clause 4.6 Variation Request - Floor Space Ratio
- D. 30 June 2021 Local Planning Panel Report
- E. 30 June 2021 Local Planning Panel Resolution

Recommendation

It is resolved that:

- (A) authority be delegated to the Chief Executive Officer to determine Development Application No. D/2020/1059, following the conclusion of the public exhibition of the draft Voluntary Planning Agreement and considering any public submissions received in response; and
- (B) if the Chief Executive Officer determines to approve the application, consideration be given, pursuant to Section 4.16(3) of the Environmental Planning and Assessment Act 1979, to granting a deferred commencement consent to Development Application No. D/2020/1059 subject to the conditions set out in Attachment A to the subject report.

Reasons for Recommendation

The application is recommended for approval for the following reasons:

- (A) The amended proposal addresses the previous reasons for refusal, as outlined to the Local Planning Panel at the 30 March 2021 meeting.
- (B) The amended proposal is consistent with the objectives of the B4 Mixed Use Zone.
- (C) The amended proposal complies with the relevant development standards at clauses 4.3, 4.4 and 7.5 of the Sydney Local Environmental Plan 2012 in relation to Height of Buildings, Floor Space Ratio and Maximum Parking Provision.
- (D) Subject to recommended conditions the proposal satisfies the design excellence provisions of clause 6.21 of Sydney LEP 2012.
- (E) The amended proposal satisfies the relevant controls relating to multi-dwelling housing at section 4.1 of the Sydney Development Control Plan 2012.
- (F) Subject to recommended conditions of consent, the amended proposal will provide an acceptable level of residential amenity for future occupants of the site and of surrounding development.
- (G) Subject to recommended conditions of consent, the amended proposal is capable of satisfying the City's stormwater requirements.

Background

The Site and Surrounding Development

1. The site has a legal description of Lot 2 DP 559934, known as 15-17 William Street, Alexandria. The site is rectangular in shape with area of approximately 1,101sqm. The site has a primary street frontage of 35.7m to William Street and a secondary street frontage of 36.2m to William Lane. The site falls from William Street towards William Lane with a levels difference of approximately 2.8m.
2. The site contains a single storey warehouse at William Street. Due to the difference in site topography, the warehouse has a 2 storey form as viewed from William Lane.
3. The site is located within a precinct with a transitional urban character. The site is located within a row of properties on the western side of William Street bordered by Reserve Street to the north and Collins Street to the south. The subject site is the final 'remnant' commercial /industrial building on the western side of the street block to be converted to residential uses.
4. There are commercial warehouses located to the north-east of the site on the opposite side of William Street and to the south-east of the site at Collins Street.
5. At the northern boundary are located 6 x multi-dwelling townhouses that are on Strata Title (11-13 William Street - Figure 4). Further to the north, at the corner of Reserve Street, is located a mixed use development containing residential apartments and multi-dwelling houses (1-9A William Street - Figures 5).
6. At the southern boundary at 19A-19F William Street are located 6 x multi-dwelling townhouses that are on Torrens Title. Further to the south is located a residential development containing apartments (21-27 William Street - Figures 6).
7. To the east of the site, on the opposite side of William Street, is located Beaconsfield Park containing open space, tennis courts and amenities. To the west of the site, on the opposite side of William Lane are located commercial premises that have frontages to O'Riordan Street.
8. The site is not a heritage item and is not located within a heritage conservation area. The site is located within the Green Square and Beaconsfield localities and is not identified as being subject to flooding.
9. A site visit was carried out on 9 February 2021. Photos of the site and surrounds are provided below.



Figure 1: Aerial view of site and surrounds



Figure 2: Site viewed from William Street, generally looking north-east



Figure 3: Site viewed from William Lane, generally looking south-east



Figure 4: 11-13 William Street to the northern boundary, viewed from William Street and William Lane



Figure 5: 1-9A William Street further to the north at the corner of Reserve Street, viewed from William Street and William Lane



Figure 6: 19A-19E William Street to the southern boundary, viewed from William Street and William Lane



Figure 7: 21 William Street further to the south at Collins Street, viewed from William Street and William Lane

History Relevant to the Development Application

Development Applications relating to the subject site

10. Historic consents relate to the operation of the warehouse for industrial purposes:
 - (a) D/1999/304 was approved on 8 June 1999 for the use of the site for fitting and servicing electronic accessories and motor vehicles; and
 - (b) D/2000/1162 was approved on 14 November 2000 for the erection of 2 flush wall signs and re-cladding the facade of the premises. pp

Neighbouring sites - North

11. 1-9 William Street: D/2014/1028 (as amended) was approved for the demolition of existing buildings, remediation of site and the construction of a residential development.
12. 11-13 William Street: D/2012/1852 (as amended) was approved on 22 August 2013 by the Land and Environment Court for alterations and additions to an existing industrial warehouse building to create 6 x 2 storey townhouses with basement carparking.

Neighbouring sites - South

13. 19A-19F William Street: D/2013/62 (as amended) was approved on 13 July 2015 for the demolition of an existing warehouse and the construction of 6 x 3 storey townhouses and 2 x apartments with lower ground floor car parking.
14. 21-27 William Street: D/2015/145 (as amended) was approved by the Land and Environment Court on 17 March 2016 for the construction of a 4 storey residential flat building consisting of 36 apartments, one level of basement parking for 28 vehicles and associated site and landscaping works.

Compliance Action

15. The site is not subject to any compliance actions.

Amendments

16. The Development Application was previously recommended for refusal at the Local Planning Panel (LPP) meeting held on 30 June 2021 (Attachments D and E). The LPP deferred their decision and granted the applicant additional time to provide amended drawings and supporting documents that address the issues raised by Council's assessing officers.
17. The applicant has subsequently provided amended drawings and supporting documents that address the key reasons for refusal. The following issues have been addressed:
 - (a) A Remedial Action Plan reviewed by a site auditor has been provided. Council's health and building specialists have reviewed the contamination reports and are of the view the site can be made suitable for intended residential land uses.

- (b) Building bulk has been reduced from the William Street elevation by the deletion of prominent blade walls and by setting back the primary facade of level 3 of the dwellings. The resulting development is more in keeping with the street frontage bulk of adjoining residential development (Figure 8 below).
- (c) The separation distance between the eastern and western townhouses has been increased from 8.7m to 9m (see Figure 9) and external privacy screens have been provided for level 1 bedroom windows facing communal courtyards (Figure 10 below). Conditions are recommended in relation to the privacy screens, to ensure they will successfully mitigate visual privacy impacts (see discussion section below).
- (d) The gross floor area (GFA) of the development has been reduced, resulting in a scheme that complies with the maximum floor space ratio (FSR) provision of 1.5:1 (inclusive of additional floor space available on the acceptance of a provision of infrastructure within the Green Square locality (see Discussion section below). The FSR has been reduced by increasing building separation and by reconfiguring the parking areas below dwellings.
- (e) The volume and dimensions of landscaped planter beds within central courtyards have been increased (Figures 12 and 22 below).
- (f) Air conditioning units have been relocated from internal courtyard facades to the roof terraces, to mitigate visual and acoustic impacts.
- (g) Amended stormwater diagrams have been provided, however Council's public domain specialists advise that the stormwater diagrams do not conform to the City's guidelines. See discussion section below.
- (h) Council's assessing officers have reviewed the amended drawings and supporting documents submitted since the 30 June LPP meeting, and are satisfied that (subject to recommended conditions of consent), the application will not have significant impacts for neighbouring properties, provides suitable residential amenity for its future occupants, and is suitable for the site.



Figure 8: The primary facade of level 3 of the dwellings has been amended to incorporate setbacks to reduce building bulk



Figure 9: building separation between the eastern and western townhouses has been increased from 8.2m to 9m, stated above

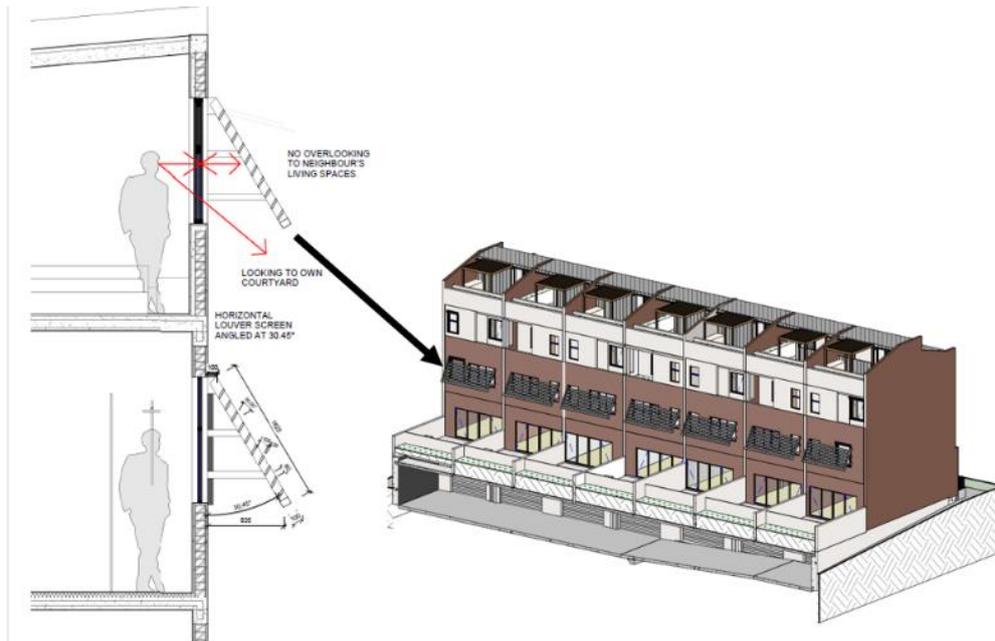


Figure 10: privacy screen details

Proposed Development

18. The application seeks consent for the following:

- (a) demolition of an existing warehouse building that covers the entire site;
- (b) excavation of a basement level and site remediation;
- (c) construction of a total of 14 x 3-4 storey multi-dwelling houses (terraced townhouses), including 7 x dwellings facing William Street and 7 x dwellings facing William Lane. The dwellings include 4 x 2 bedroom dwellings and 10 x 3 bedroom dwellings;
- (d) vehicle access from William Lane and pedestrian entry to all dwellings from William Street and William Lane; and
- (e) site landscaping within deep soil area facing William Street and within central courtyards.

19. The multi-dwelling houses are proposed to be constructed as follows:

- (a) basement level: all dwellings are provided with a single parking space below the ground level. A true basement level is provided beneath dwellings T8-T14 that have a frontage to William Street. Due to steep site topography, the parking spaces below dwellings T1-T7 are at grade with William Lane. All dwellings are provided with individual bin storage. A communal waste bin holding area is located adjacent to the vehicle entry;
- (b) ground level: open plan living areas open onto private open spaces within central courtyards;
- (c) Level 1: 2 bedrooms and WCs per dwelling;

- (d) Level 2: third bedrooms for dwellings T3-T5 and T8-T14 and roof terraces for dwellings T1-T2, T6-T7; and
- (e) third level: roof terraces for dwellings T8-T14.
20. The building facade facing William Street is proposed to include the following materials:
- (a) face brick at the lower levels 1 and 2 and painted, rendered front fences;
- (b) Colourbond 'Monument' roof cladding for level 3 facades and painted charcoal balcony balustrades; and
- (c) timber pergolas at the roof level and aluminium windows.
21. The proposal includes a public benefit offer, in the form of a monetary contribution, to provide for Community Infrastructure in the Green Square Locality. This is to be delivered through a VPA. The draft VPA has commenced its public exhibition period, which is for a duration of 28 days, in accordance with the requirements of the Environmental Planning and Assessment Act 1979.
22. A full set of architectural drawings is provided at Attachment B. An extract from the architectural package is provided below.

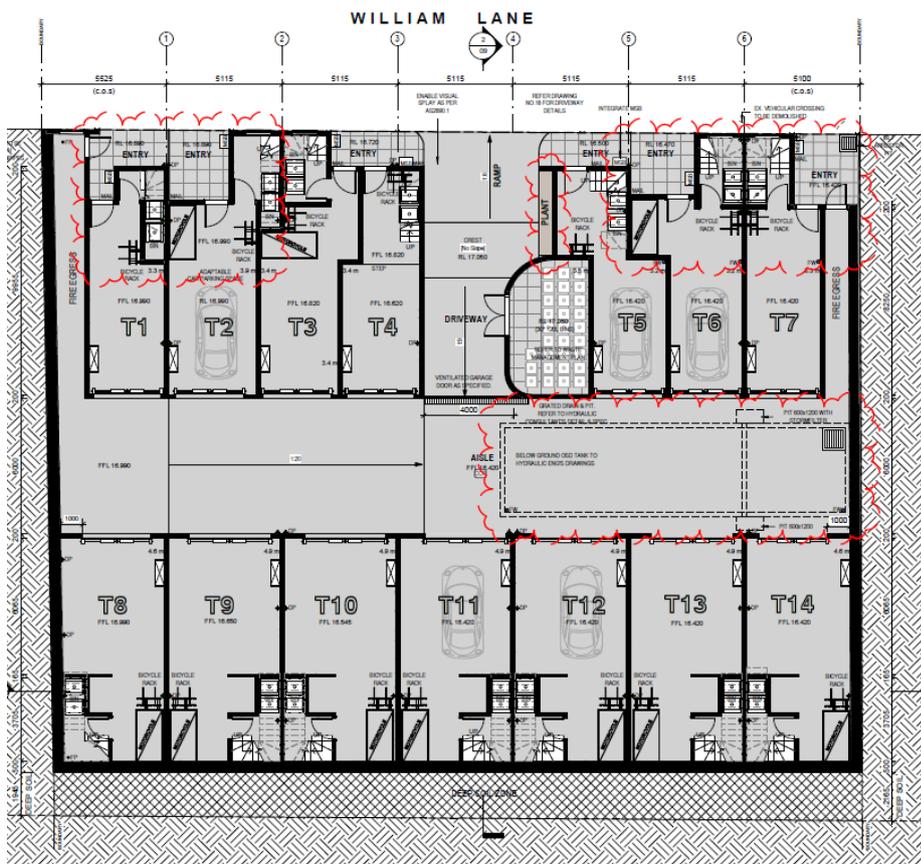


Figure 11: Basement plan

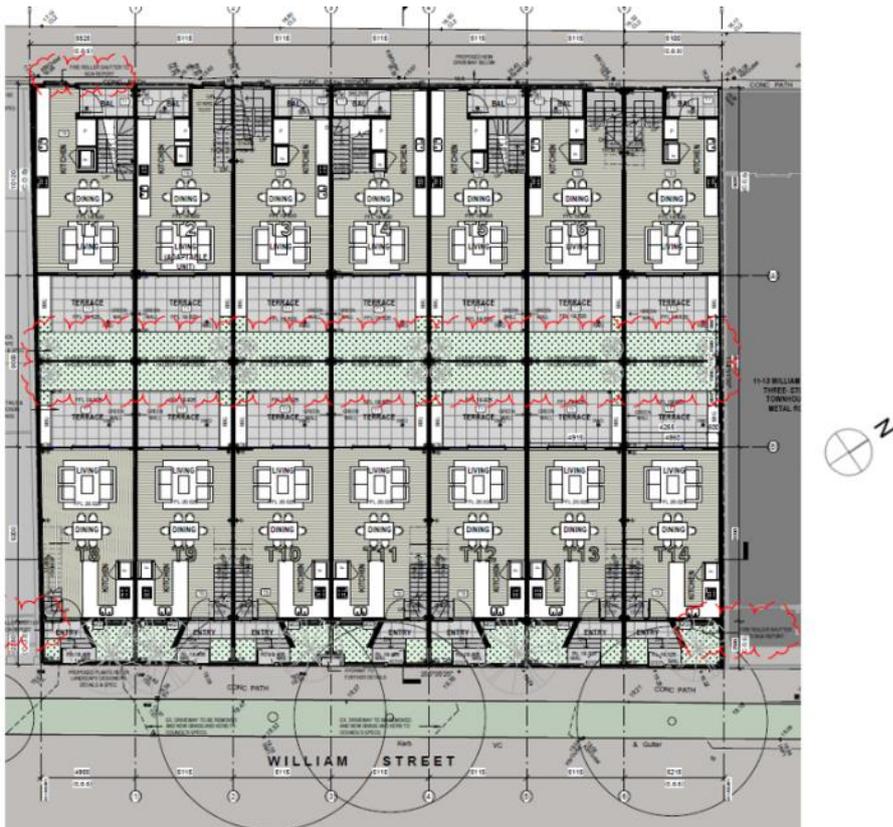


Figure 12: Ground level plan

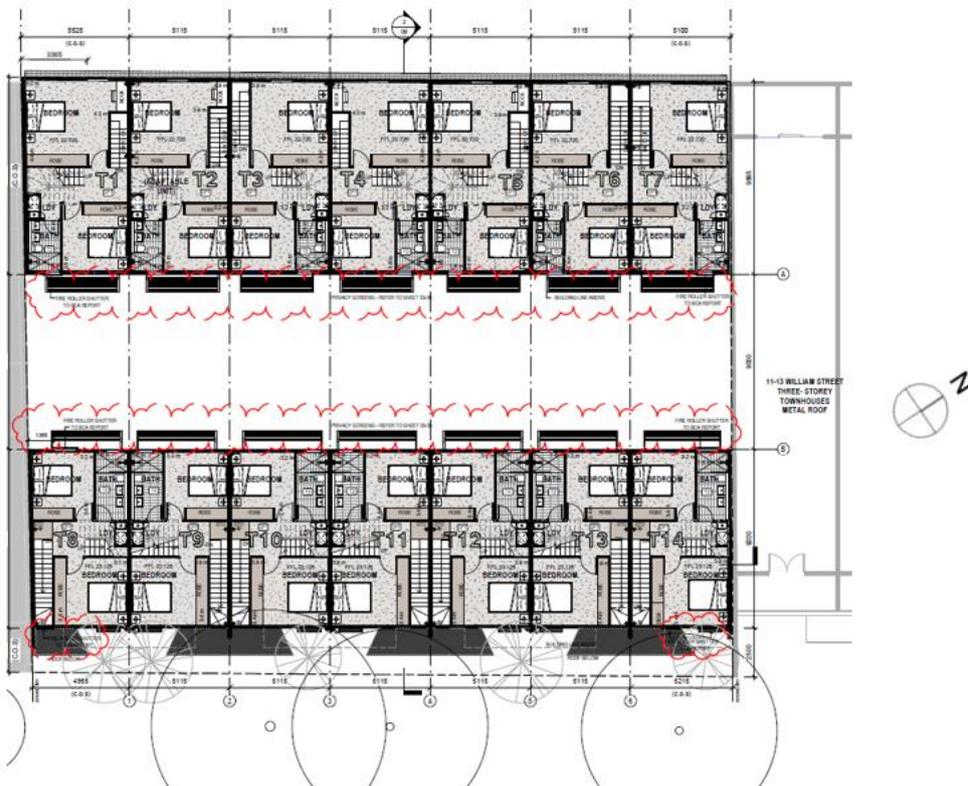


Figure 13: Level 1 plan



Figure 14: Level 2 plan



Figure 15: Roof plan



Figure 16: Eastern elevation (William Street)



Figure 17: Western elevation (William Lane)

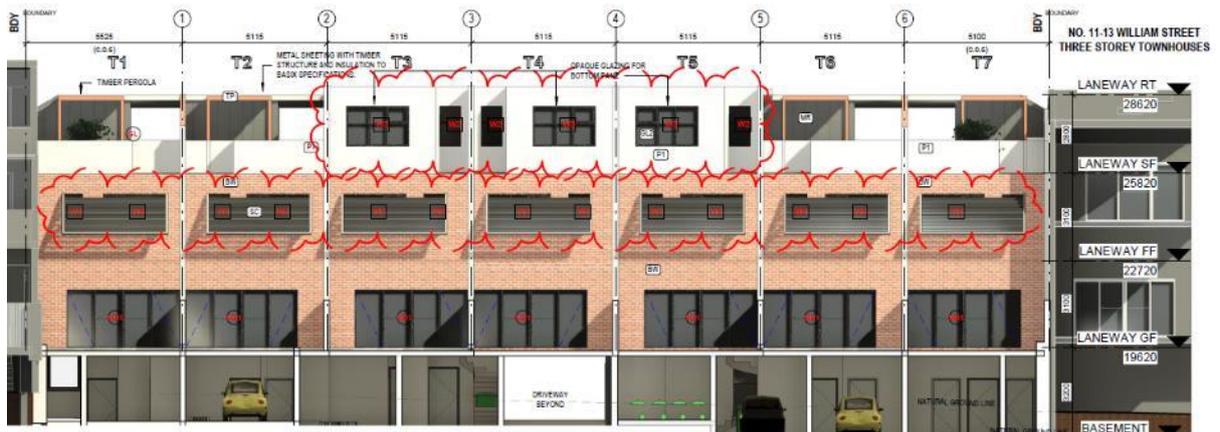


Figure 18: Internal courtyard elevation, looking west towards William Lane

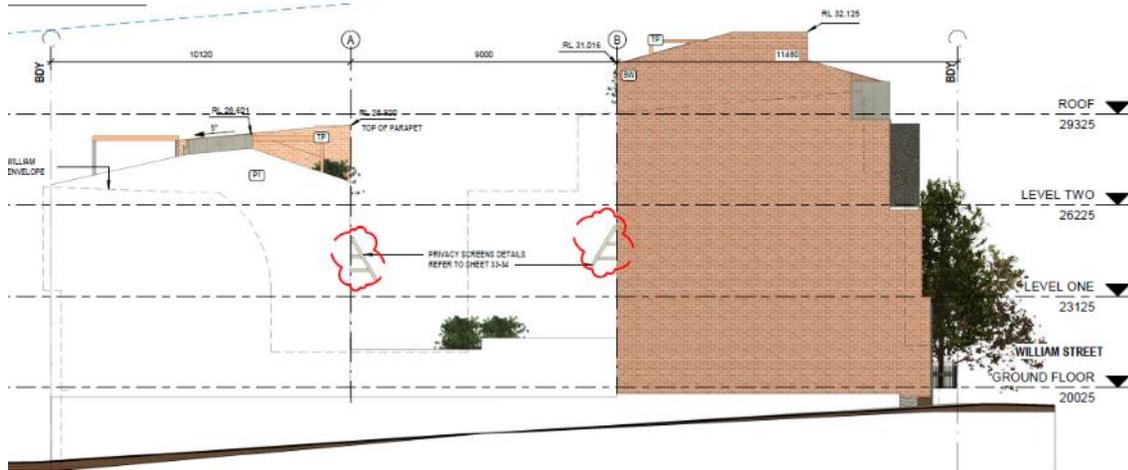


Figure 21: South elevation

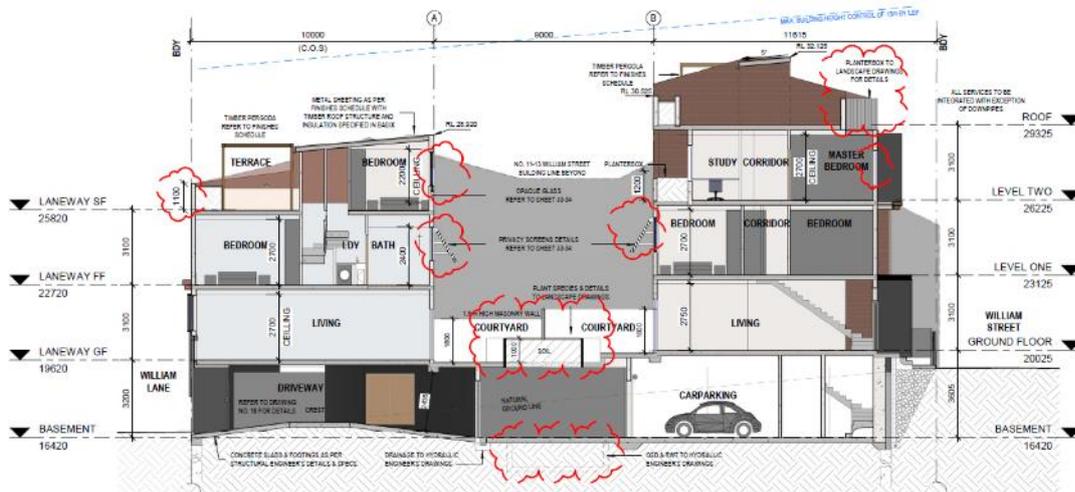


Figure 22: Section Plan



Figure 23: Architectural render - William Street frontage

Assessment

23. The proposed development has been assessed under Section 4.15 of the Environmental Planning and Assessment Act 1979 (EP&A Act).

State Environmental Planning Policies

State Environmental Planning Policy No 55 - Remediation of Land

24. The aim of State Environmental Planning Policy (SEPP) No 55 is to ensure that a change of land use will not increase the risk to health, particularly in circumstances where a more sensitive land use is proposed.
25. A Remediation Action Plan (RAP) and a Statement of Interim Advice, prepared by a site auditor have been provided for assessment. The RAP identifies site contaminants associated with historic uses of the site, including ash slag, asbestos, lead and heavy metals.
26. The RAP proposes to excavate all contaminated soils prior to them being classified in accordance with the NSW EPA Waste Classification Guidelines. The classified site soils are proposed to be disposed of at a licensed landfill.
27. The interim advice from the site auditor confirms the above approach is appropriate, subject to conditions.
28. The Council's Health Unit has reviewed the information provided and recommends conditions of consent to ensure compliance with the remediation measures outlined, and for Council to be notified should there be any changes to the strategy for remediation.
29. The Council's Health Unit is satisfied that, subject to conditions, the site can be made suitable for the proposed use.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

30. A BASIX Certificate has been submitted with the development application. The BASIX certificate lists measures to satisfy BASIX requirements which have been incorporated into the proposal. A condition of consent is recommended ensuring the measures detailed in the BASIX certificate are implemented.

State Environmental Planning Policy (Infrastructure) 2007

31. The provisions of SEPP (Infrastructure) 2007 have been considered in the assessment of the development application.

Division 5, Subdivision 2: Development likely to affect an electricity transmission or distribution network

Clause 45 Determination of development applications – other development

32. The application is subject to Clause 45(2) of the SEPP as the development involves the penetration of ground within 2m of an electricity distribution pole .
33. The application was referred to Ausgrid for a period of 21 days and no objection was raised.

Local Environmental Plans

Sydney Local Environmental Plan 2012

34. An assessment of the proposed development against the relevant provisions of the Sydney Local Environmental Plan 2012 is provided in the following sections.

Part 2 Permitted or prohibited development

Provision	Compliance	Comment
2.3 Zone objectives and Land Use Table	Yes	The site is located in the B4 Mixed Use zone. The proposed development is defined as multi-dwelling housing and is permissible with consent in the zone. The proposal generally meets the objectives of the zone.

Part 4 Principal development standards

Provision	Compliance	Comment
4.3 Height of buildings	Yes	A maximum building height of 15m is permitted. The proposal has a height of approximately 13m.
4.4 Floor space ratio 6.14 Community Infrastructure Floor Space at Green Square	Yes	<p>A maximum floor space ratio (FSR) of 1:1 (1,101sqm of GFA) is stipulated by the relevant FSR map, pertaining to section 4.4 of SLEP2012.</p> <p>Section 6.14 of SLEP2012 provides an opportunity for a further 0.5:1 FSR with the provision for community infrastructure within the Green Square locality.</p> <p>As part of the subject application, the owner has made a formal offer to enter into a Voluntary Planning Agreement (VPA) with Council.</p> <p>Council's VPA specialist has advised that there are no identified infrastructure projects in the vicinity of the site. Consequently, the formal offer involves payment of a monetary contribution for community infrastructure provision within the Green Square locality.</p>

Provision	Compliance	Comment
		<p>Considering all the relevant FSR provisions provided by SLEP2012, the maximum permitted FSR for the development is 1.5:1 (1,651.50sqm of GFA).</p> <p>The amended scheme has a FSR of 1.44:1 (1,587sqm of GFA), which complies with the maximum permissible FSR for the site.</p>
4.6 Exceptions to development standards	No	<p>A request to vary the floor space ratio development standard in accordance with Clause 4.6 of SLEP2012 was lodged with the application (Appendix C).</p> <p>The written statement describes a development scheme that has been superceded. The original scheme exceeded the standard by 7sqm, with an FSR of 1.51:1 (1,658sqm sqm of GFA).</p> <p>Given the amended development complies with the relevant FSR standard, it is not necessary to consider whether the written statement addresses the relevant clauses of section 4.6 of SLEP2012.</p>

Part 6 Local provisions – height and floor space

Provision	Compliance	Comment
6.21 Design excellence	Yes	<p>The proposed development generally satisfies the requirements of this provision. The proposed works will achieve an appropriate standard of architectural design and the proposed materials and detailing are considered to be appropriate to the building type and location. The proposed bulk, massing and modulation of the subject building is considered acceptable.</p> <p>The amended finishes schedule demonstrates that appropriately considered materials are to be used for the construction of the dwellings.</p>

Provision	Compliance	Comment
		<p>However, the finishes schedule contains a note stating that the 'Builder may choose similar materials subject to approval by the principle architect and client'.</p> <p>The approach of substituting alternative materials to those shown on the materials schedule is not appropriate with regard for the consideration of design excellence at section 6.21(4)(a), which requires consideration of whether a high standard of architectural design, materials and detailing appropriate to the building type and location will be achieved.</p> <p>A condition is recommended that a modified finishes schedule, removing reference to the note above, must be submitted to and approved by Council's Area Planning Manager, prior to the issue of any Construction Certificate.</p>

Part 7 Local provisions – general

Provision	Compliance	Comment
Division 1 Car parking ancillary to other development		
7.5 Residential flat buildings, dual occupancies and multi dwelling housing	Yes	<p>A maximum of 14 car parking spaces are permitted for 4 x 3 bedroom dwellings and 10 x 2 bedroom dwellings in the 'B' area.</p> <p>The amended proposal includes 14 car parking spaces and complies with the relevant development standard.</p>
Division 3 Affordable housing		
7.13 Contribution for purpose of affordable housing	Yes	<p>The proposal involves the construction of a new building, the gross floor area of which is more than 200 square metres. A condition is recommended, requiring the payment of a contribution towards affordable housing in the Green Square locality.</p>

Provision	Compliance	Comment
Division 4 Miscellaneous		
7.14 Acid Sulfate Soils	Yes	The site is located on land with class 5 Acid Sulfate Soils. Council's health and building specialist has advised the site is located 200 meters from a Class 3 Acid Sulfate Soils zone and at a land height of 18-19 AHD. As such, an Acid Sulfate Soils management plan is not required.
7.15 Flood planning	Yes	The site is not identified as being subject to flooding.
7.19 Demolition must not result in long term adverse visual impact	Yes	The application does not propose any substantial delay between the demolition of site structures and the construction of dwellings on the site.
7.25 Sustainable transport of southern employment land	Yes	The proposal does not exceed the maximum number of car parking spaces that may be provided for the use of a building pursuant to Division 1 of Part 7. Sufficient space is provided within the parking areas for all dwellings for bike parking.

Development Control Plans

Sydney Development Control Plan 2012

35. An assessment of the proposed development against the relevant provisions within the Sydney Development Control Plan 2012 is provided in the following sections.

Section 2 – Locality Statements

36. The site is located within the Beaconsfield locality. The amended development is in keeping with the key design principles of the locality, in that it provides a high quality built form in the southern area of the neighbourhood which has a transitional urban character.

Section 3 – General Provisions

Provision	Compliance	Comment
3.2. Defining the Public Domain	Yes	The amended development contributes to the activity, amenity and quality of William Street and presents a development with an appropriate scale, finishes and an interesting architectural character. Legible, individual entries are provided from the public domain. Entries to dwellings at William Lane are recessed rather than being adjacent to the laneway.
3.5 Urban Ecology	Yes	The proposed development does not involve the removal of any trees and will not have an adverse impact on the local urban ecology.
3.6 Ecologically Sustainable Development	Yes	The proposal satisfies BASIX and environmental requirements.
3.8 Subdivision, Strata Subdivision and Consolidation	Yes	The proposed development involves stratum subdivision of the site. The application was referred to Council's Specialist Surveyor, who supported the proposal, subject to conditions of consent.
3.10 Significant Architectural Building Types	Yes	<p>The proposal involves demolition of a warehouse that, according to Council's aerial photographs, was constructed between 1945 and 1975.</p> <p>The subject warehouse is utilitarian in character and has no significant features that would identify it as worthy of retention.</p> <p>The provisions of Section 3.10.1 of SDCP2012 do not apply to the site, given they relate to warehouse buildings that are heritage items, draft heritage items or warehouses located within a Heritage Conservation Area, none of which apply.</p>

Provision	Compliance	Comment
<p>3.11 Transport and Parking</p> <p>3.11.3 Bike parking and associated facilities</p> <p>3.11.7 Motorbike parking</p> <p>3.11.9 Accessible parking</p> <p>3.11.13 Design and location of waste collection points and loading areas</p>	Yes	<p>All dwellings are provided with adequate space for bike parking within areas located beneath the dwellings and several dwellings are provided with motorbike parking where there is adequate space.</p> <p>There is adequate space for the provision of an accessible parking space beneath dwelling T2, which is identified as an adaptable dwelling. The proposal complies with maximum car parking provision set out at part 7.5 of SLEP2012.</p> <p>A waste bin holding area is located within 10m of the building entry at William Lane and provides assurance that bins will not be left on the roadway for waste disposal.</p>
3.12 Accessible Design	Yes	<p>The provisions require that 1 dwelling must be provided as an adaptable dwelling. Dwelling T2 is identified as an adaptable dwelling with provision for future adaptability in relation to parking and lift access.</p> <p>Existing development on the eastern side of William Lane has no consistent footpath. However, a regular footpath is located on the western side of William Lane. All proposed dwellings within the site have entries that are set back from the roadway and that provide space for wheelchair circulation.</p>
3.13 Social and Environmental Responsibilities	Yes	The proposed development provides adequate passive surveillance and is generally designed in accordance with the CPTED principles.
3.14 Waste	Yes	All dwellings are provided with individual bin storage areas within their parking areas and a communal waste bin holding area is provided adjacent to the building entry at William Lane.

Provision	Compliance	Comment
		<p>There is adequate space adjacent to the waste bin holding area to provide for bulky items when awaiting disposal.</p> <p>A condition has been recommended to ensure the proposed development complies with the relevant provisions of the City of Sydney Guidelines for Waste Management in New Development.</p>

Section 4 – Development Types

4.1 Single Dwellings, Terraces and Dual Occupancies

Provision	Compliance	Comment
4.1.1 Building height	Acceptable	The site is permitted a maximum building height of 3 storeys. The proposed development is 4 storeys in height and does not comply with the control. See Discussion below.
4.1.2 Building setbacks	Yes	The proposed development relates to the existing nil-setback patterns along the street and respects the predominant building lines.
<p>4.1.3 Residential amenity</p> <p>As demonstrated below, the proposed development will have acceptable residential amenity and will not have unreasonable impacts on the residential amenity of neighbouring properties.</p>		
4.1.3.1 Solar access	Yes	'View from the sun' diagrams have been provided that demonstrate the proposed dwellings and neighbouring dwellings will receive a minimum of 2 hours' solar access to private open spaces and living areas at the winter solstice.
4.1.3.3 Landscaping	Yes	The proposed scheme has been amended to increase the provision of deep soil area at William Street frontage and to increase the volume of planter beds located in central courtyards.

Provision	Compliance	Comment
		Council's landscape officer has recommended conditions relating to amendments required to landscaped areas. See discussion below.
4.1.3.4 Deep soil planting	Acceptable	The proposal has been amended to increase deep soil planting from nil provision to 70sqm (6%) of the site area. The development does not comply with the minimum provision of 15% of site area as deep soil planting. See discussion below.
4.1.3.5 Private open space	Yes	<p>All dwellings are provided with approximately 34sqm of private open space including 14sqm at the ground level (or 21sqm including landscaped planter beds) and additional private open spaces roof levels with areas of approximately 20sqm.</p> <p>Ground level private open spaces are directly accessible from the living areas of the dwellings and capable of serving as an extension of the living areas.</p>
4.1.3.6 Visual privacy	Yes	Subject to recommended conditions of consent, the application can be supported with regard for visual privacy. See discussion below.
4.1.7 Fences	Yes	<p>The amended proposal provides 1.4m palisade and masonry front fences that are consistent with the character of fences within the locality. The front fences provide passive surveillance and are proposed to be constructed using materials that are in keeping with the character of the area.</p> <p>A condition is recommended that dividing fences within the central courtyards have a minimum height of 1.8m. This is in response to eastern and western dwellings being constructed with a floor level differing by 400mm.</p>

Provision	Compliance	Comment
4.1.8 Balconies, verandahs and decks	Yes	Roof level balconies decks contribute to building design quality and respect the visual and acoustic privacy of neighbours. See discussion below in relation to visual privacy.
4.1.9 Car parking	Yes	The proposal provides a driveway at the entry to the site with a width of 5m, which exceeds the maximum recommended DCP width of 2.7m. A condition is recommended that the width of the driveway must be reduced to 3.5m. See discussion below.

4. Section 5 – Specific Areas

Provision	Compliance	Comment
5.2 Green Square 5.2.7 Stormwater management and waterways	No	The provisions require that stormwater management must be appropriate to the site and to the proposed development. Council's public domain specialist has advised that stormwater diagrams submitted for assessment do not satisfy the City's technical specifications. A new connection must be made to the City's stormwater infrastructure. See discussion below - Stormwater Concept Design.
5.2.9 Building design	Yes	The amended scheme provides a building that addresses the street frontage and that provides an architectural expression that is compatible with, and that provides a scale and finishes that contribute to and enhance the existing and desired neighbourhood character.

Discussion

Addressing previous reasons for refusal

37. At the 30 June 2021 meeting, the Panel expressed reservations regarding the application in its current form however resolved to defer rather than refuse the application.
38. The Panel stated in their resolution (Attachment E) that there appears to be reasonable potential that the additional information required by Council's assessing officers can be submitted by the applicant, and that the application can be reported to a subsequent meeting of the LPP. A period of 21 days was suggested by the Panel for the preparation of amended documents.
39. Amended drawings and supporting documents were submitted outside of the nominal 21 day period. The applicant provided amended architectural drawings on 15 September 2021 and 5 October 2021 and amended stormwater details on 13 July 2021 and 9 September 2021. See further details above in the 'amendments' section of this report.
40. The amended architectural drawings submitted since the 30 June 2021 LPP meeting have been reviewed and are generally supported. The amended drawings resolve many of the issues raised by Council's assessing officers, however they do not adequately resolve the issue of visual privacy between the windows of dwellings facing internal courtyards. The amended package also fails to resolve issues around stormwater disposal. These matters can be dealt with by condition of consent.
41. The issues highlighted by the LPP at the 30 June 2021 meeting and the previously described reasons for refusal (Attachment D) are addressed as follows:

Reason (A) - SEPP55 - Remediation of Land

42. Reason (A) for refusal was that the applicant had failed to provide documents to demonstrate that the proposed change of land use will not increase the risk to health given a more sensitive land use is proposed. As such, the proposal had failed to satisfy the consent authority that the development could satisfy the provisions of the State Environmental Planning Policy (SEPP) No 55.
43. The applicant has since provided a Remediation Action Plan and a Statement of Interim Advice, prepared by a site auditor. The submitted documents have been reviewed by the City's health and building specialists and are satisfactory in terms of demonstrating that the site is suitable for proposed land uses after remediation (see further discussion in the SEPP55 section above). Appropriate recommended conditions of consent have been included, with reference to the RAP and Statement of Interim Advice.

Reason (B) - Aims of SLEP2012

44. Reason (B) for refusal was that the applicant had failed to demonstrate the proposed development provides appropriate amenity for its intended future occupants and to the occupants of neighbouring buildings, and fails to satisfy key Aims at Clauses 1.2(h) and 1.2(j) of the Sydney Local Environmental Plan 2012, that are to protect the amenity and quality of life of the local community, provide a high quality urban form and design excellence and to reflect the desired future character of the locality.

45. The application has since been amended to address residential amenity, as outlined elsewhere in this report. The amended proposal is capable of providing high amenity for its intended future occupants and to the occupants of neighbouring buildings, subject to recommended conditions of consent addressing visual privacy (see below). The amended application is now considered to provide a high quality urban form that exhibits design excellence and provides a scheme that reflects the desired future character of the locality.

Reasons (C) and (D) - Floor space ratio and Green Square Community Infrastructure

46. Reason (C) for refusal was that the applicant had failed to demonstrate the proposal complied with the FSR development standard and had not provided a written statement addressing the provisions of Clause 4.6 of SLEP2012 that would seek to justify the non-compliance with the FSR development standard.
47. Reason (D) for refusal was that the applicant had failed to demonstrate the application satisfies the relevant Green Square Community Infrastructure provisions under Clause 6.14 of the Sydney Local Environmental Plan 2012. In particular the proposal fails to satisfy key objective 6.14(1)(b) as the proposal does not reflect the desired character of the locality and fails to minimise adverse impacts on the amenity of the locality.
48. The application has been amended to reduce the gross floor area and now complies with the SLEP2012 floor space ratio of 1.5:1 (inclusive of additional floor space available on the acceptance of a provision of infrastructure within the Green Square locality). The gross floor area for the development has been lowered by reducing the floor areas of various levels within dwellings and reconfiguring the parking areas below dwellings T1-T7 (facing William Lane - see amendments section above).

Reason (E) - Design Excellence

49. Reason (E) for refusal was that the applicant had failed to demonstrate the proposal satisfies the matters in section 6.21(4) of SLEP2012 with regard for design excellence. In particular, the proposal fails to provide high residential amenity for its intended future occupants and to the occupants of neighbouring buildings and fails to provide suitable building bulk, massing and modulation and fails to provide excellence and integration of landscape design.
50. The amended scheme addresses residential amenity for its intended future occupants and to the occupants of neighbouring buildings by increasing separation distances between the eastern and western dwellings from 8.2m to 9m and by providing increased landscape provision between the dwellings that has the potential to provide for more effective landscape plantings. Notwithstanding this, the application has not demonstrated visual privacy impacts between dwellings on the site can be successfully mitigated; a condition is recommended in this regard (see below - visual privacy section).
51. The amended scheme addresses building bulk, massing and modulation as outlined above. High quality landscape design can be provided, subject to conditions requiring landscaped planter areas to remain consolidated (see discussion below).

Reason (F) - Maximum car parking provision

52. Reason (F) for refusal was that the application exceeded the development standard for the maximum number of car parking spaces set out at Clause 7.5 of Sydney Local Environmental Plan 2012. 15 x car parking spaces were provided where the maximum is specified at 14.
53. Amended drawings comply with the maximum development standard. A second car space below dwelling T2 has been deleted and replaced by motorcycle and bike parking.

Reason (G) - Stormwater Concept Design

54. Reason (G) for refusal was that the applicant had failed to provide a requested Stormwater Concept Design, and as such, failed to satisfy the provisions of part 3.7.2 of Sydney Development Control Plan 2012 in relation to demonstrating how the development connects to the downstream drainage system.
55. Three sets of amended stormwater diagrams have been provided since the 30 June 2021 LPP meeting. The amended diagrams have been reviewed by the City's public domain specialists and feedback has been provided to the applicant's stormwater engineer. The diagrams are inadequate in terms of addressing Council's technical specifications.
56. Council's public domain specialists have advised that the applicant has failed to demonstrate that the development can comply with the City's stormwater policy. The policy requires that the applicant must demonstrate, by way of stormwater diagrams and calculations, that proposed kerb discharge rate will not exceed 25L/second. With regards to stormwater drainage:
 - (a) amended stormwater diagrams have been provided, however the diagrams have not been accompanied by calculations that confirm the required maximum flow rate can be achieved;
 - (b) on-site detention (OSD) tanks have been provided, and their size has been increased during the course of assessment. However, the applicant has not provided Sydney Water approval for the OSD tanks as is required;
 - (c) the latest iteration of stormwater drawings shows that stormwater pipes are proposed to be provided 3 x 150mm x 100mm RHS pipe outlet discharge where the City's Technical Specifications allow for only 2 x 150mm x 100mm outlets. Providing 3 x outlet pipes will increase stormwater velocity above the maximum permitted by the City's technical specifications;
 - (d) amended stormwater drawings show that the combined inlet pipes to the gravity pit are larger in cross-sectional flow area than the combined outlet pipe cross-sectional flow area. The current scheme will cause stormwater to backup through the stormwater system and cause internal and public area flooding. The proposed OSD may overflow into the basement parking area.
57. Council's flood engineers have carried out their own calculations and conclude that the proposed drainage system is inadequate and internal basement flooding is likely to result. The applicant has been given numerous opportunities to justify their claim via stormwater calculations but has failed to do so.

58. As such, a condition is recommended that a kerb outlet for stormwater disposal from the site will not be permitted and that a piped connection to the appropriate existing Council pit must be designed and approved. The condition is recommended to be included as deferred commencement condition given its potential to impact upon the operation of the proposed development.

Reason (H) - Design principles of the Beaconsfield locality

59. Reason (H) for refusal was that the application failed to satisfy a key design principle of the Beaconsfield locality, pursuant to part 2.5.2 of SDCP2012, which is to provide a high quality built form in the southern area.
60. The application has since been amended to address residential amenity and streetscape character, as outlined elsewhere in this report. The amended application is now considered to provide a high quality urban form that satisfies design excellence and provides a scheme that is in situ and sympathetic with recent adjoining developments.

Reason (I) - Deep soil areas and landscape provision

61. Reason (I) for refusal was that the application failed to provide adequate deep soil areas and adequate depth and volume to landscape planters. The application failed to satisfy the Sydney Landscape Code and SDCP2012 in relation to Urban Vegetation and in relation to Deep Soil Planting.
62. The application has since been amended to address the above issues and is considered to be satisfactory, as outlined below.

Reason (J)

63. Reason (J) for refusal was that the proposal is not in keeping with the desired future character of the area and is not considered to be in the public interest. The application has since been amended to address the above issues and is considered to be satisfactory, as outlined elsewhere in this report.

Building Height

64. The proposed development is 4 storeys in height and does not comply with the 3 storey control set out by the SDCP2012 Building height in storeys map. Notwithstanding this, the proposal is acceptable in relation to building height for the following reasons:
- (a) the 4 storey character results from steep site topography whereby the street frontage to William Lane is a full storey lower than the street frontage to William Street (Figure 24 below). Parking areas under dwellings facing William Lane contribute to an additional storey, however building bulk is set back from the William Lane frontage;
 - (b) the development has a 3 storey character as viewed from the public domain of both street frontages and is consistent with the height of adjoining development at the southern boundary (Figure 25 below). Roof terraces for dwellings facing William Street are set back from the building edges and maintain a 3 storey character;
 - (c) the fourth storey is centrally located to the site and does not result in any significant impacts for dwellings within the site or neighbouring dwellings in relation to overshadowing, view loss or solar access; and

- (d) the development has a height of approximately 13m and does not exceed the 15m SLEP2012 building height standard.

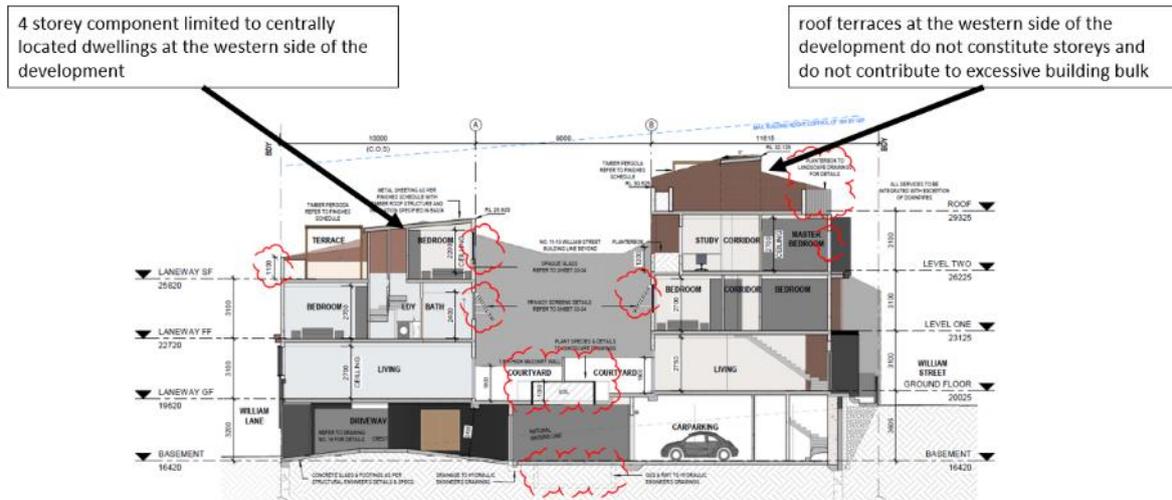


Figure 24: Fourth storey setback from William Lane. Roof terraces set back from William Street



Figure 25: Roof level terraces are recessive and will not visually dominate the facade as viewed from William Street

Deep Soil

65. Section 4.1.3.4 of SDCP2012 specifies that for lots greater than 150sqm, the minimum amount of deep soil is to be 15% of the site area (165sqm). The proposal has been amended to increase deep soil planting from zero to 6% of the site area (70sqm).
66. While the development does not comply with the minimum provision for deep soil planting, the proposed development is supported on the following basis:
 - (a) original drawings lodged with the DA showed a basement that extended to all site boundaries, with no deep soil area provided;
 - (b) the amended proposal provides an area at the William Street frontage that extends for the full width of the site and that has a depth of 1.95m. This is a more generous provision than for neighbouring sites, which provide deep soil areas with a maximum depth of 1.5m to the William Street boundary;
 - (c) amended drawings show landscaped areas at the William Street boundary and within central courtyards that have been made larger in area and volume; and
 - (d) the site does not have sufficient area to provide an area of deep soil at the centre of the site, whilst also providing for parking beneath the dwellings.

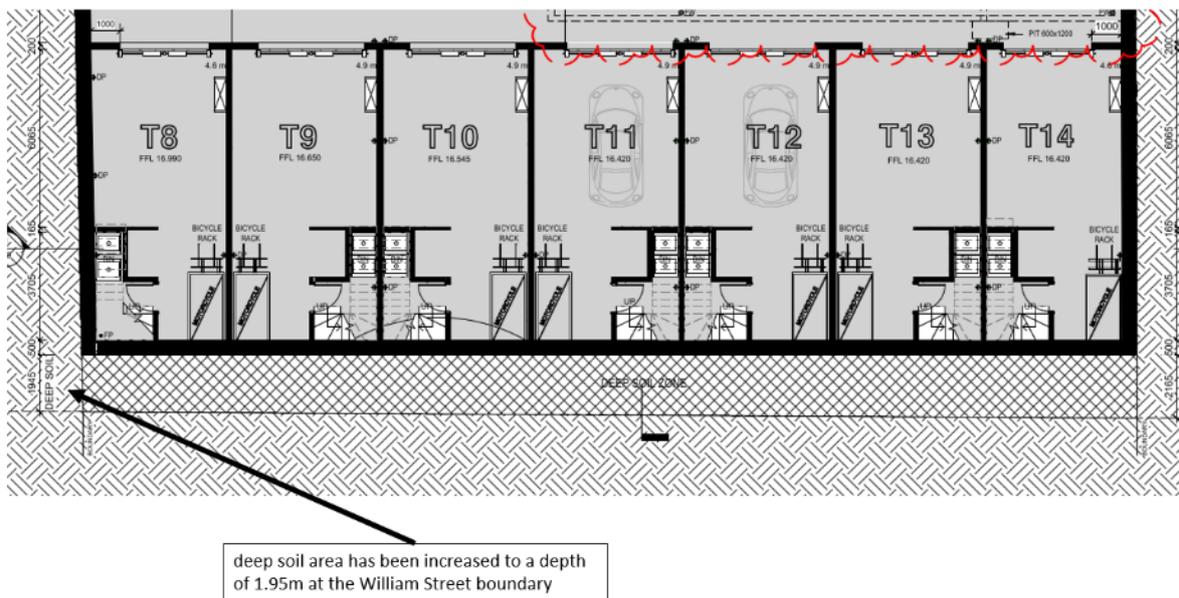


Figure 26: Extract from basement drawing, showing 1.95m of deep soil at the William Street boundary

Visual privacy

67. The residential amenity of the proposed dwellings and those neighbouring the site has been considered, with regard for visual privacy impacts.

Bedrooms

68. Level 1 bedrooms will directly overlook the courtyards at the centre of the site and are not offset to avoid mutual overlooking between bedrooms. Buildings are separated by 9m (Figure 9 above). The bedroom windows are themselves, directly overlooked from the upper levels and roof terraces of opposing dwellings.

69. The amended drawings address visual privacy via the installation of fixed, angled louvres to the outside of bedroom windows. The louvre panels are proposed to be fixed to the upper edge of the windows and to be extended from the walls at the base of the windows.
70. This is satisfactory in terms of preventing direct viewing into the bedroom and is also satisfactory in terms of providing light into the windows (Figure 27). However, as shown in Figure 28, the design of the screens results in significant visual privacy impact in that it allows for the direct overlooking downwards into the courtyards of adjoining dwellings.
71. Graphics provided by the applicant demonstrate that effective privacy mitigation is only achieved for people within the bedrooms if they are standing 1m away from the inside of the bedroom windows. However, the applicant has demonstrated, by way of Figure 28, that a person standing adjacent to the bedroom window is able to directly overlook the courtyard of the neighbouring, adjoining dwellings (Figure 28 below).
72. A design modification condition is recommended, requiring the applicant to develop a solution to the issue of direct downwards overlooking over neighbouring courtyards. The condition requires that:
- (a) The design of the level 1 bedroom windows shall be amended to address both the overlooking between dwellings and also the overlooking downwards into adjacent courtyards.

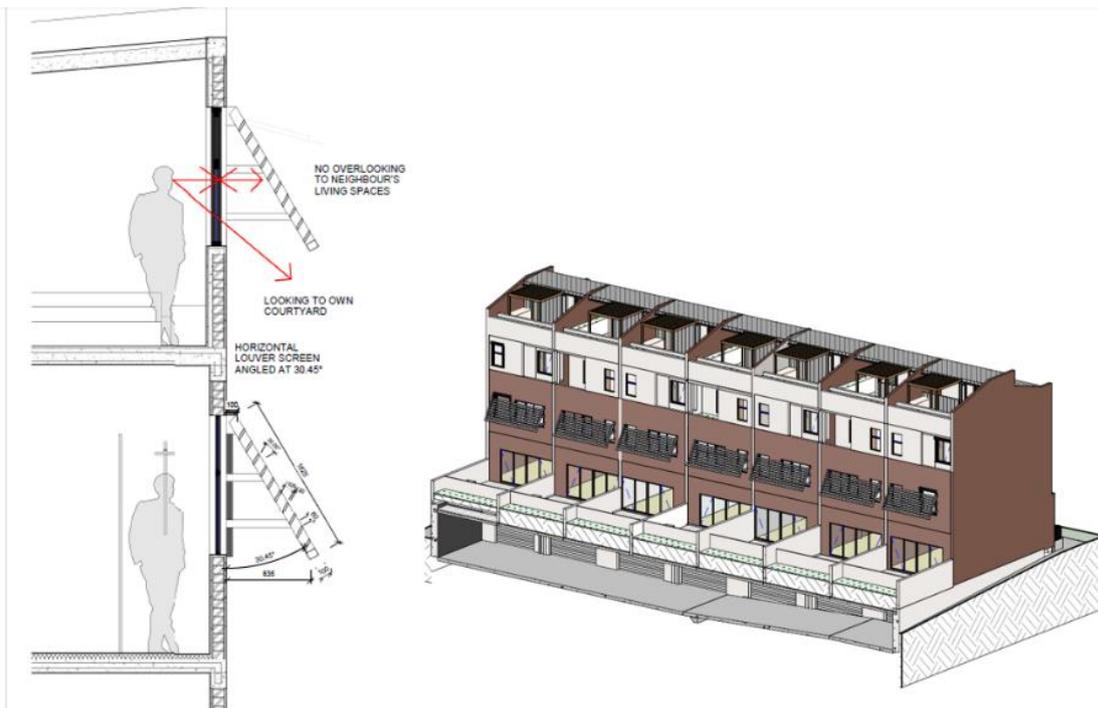


Figure 27: The proposed privacy treatment to bedroom windows facing the internal courtyards

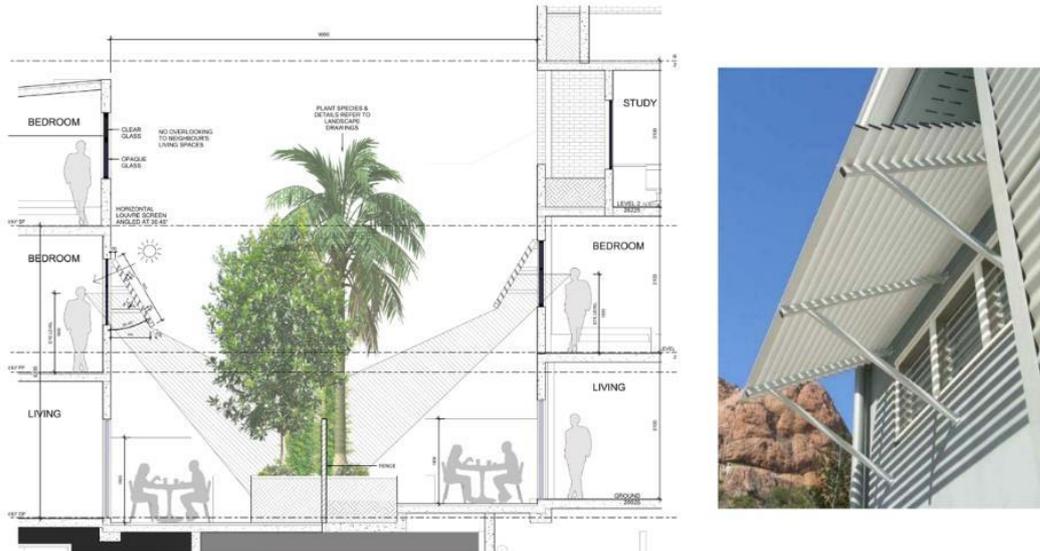


Figure 28: Images provided by the applicant, demonstrating that direct downwards overlooking is acceptable when standing back from windows, and that direct downwards overlooking can be successfully mitigated by a privacy hood at the base of the windows

Roof terraces

- 73. Drawings have been amended to address visual privacy in relation to direct overlooking from proposed roof terraces.
- 74. Landscaped planter beds are provided at the inner edges of the roof terraces. The planters have a depth of 1.1m and prevent people using the terraces from directly overlooking the living areas of neighbouring dwellings (Figures 29 and 30 below). Proposed louvre privacy screens for bedrooms at the level below prevent the direct overlooking into the bedrooms from the roof terraces.

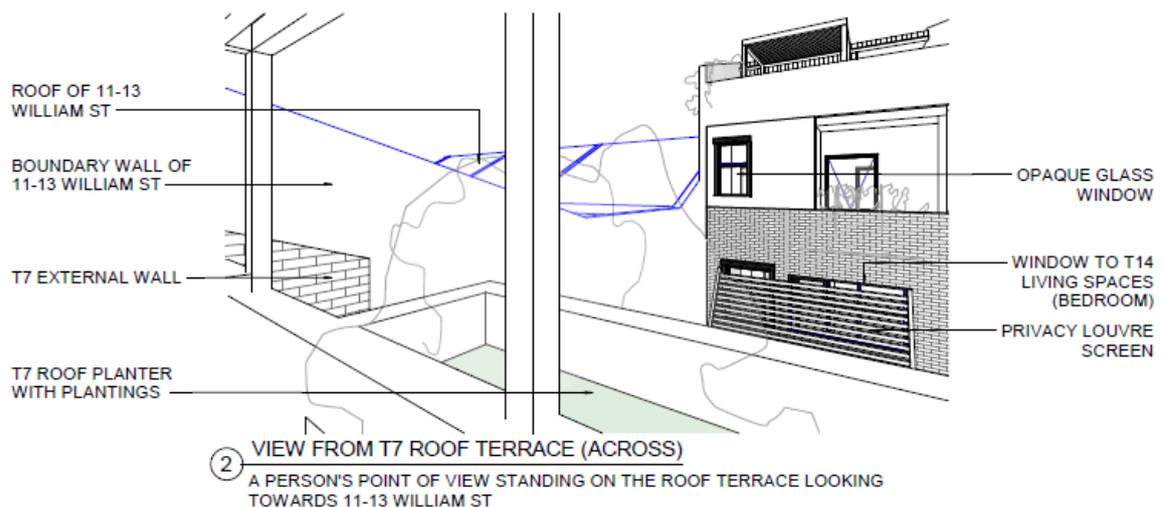


Figure 29: Planter boxes at the roof level are not able to directly overlook neighbouring dwellings and are prevented from overlooking bedrooms by fixed louvre screens

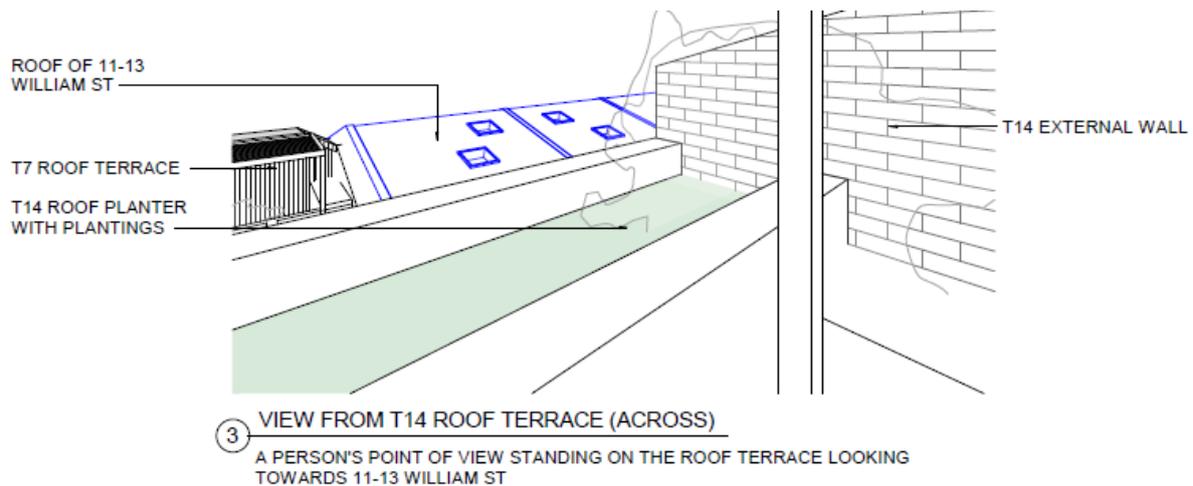


Figure 30: Planter boxes at the roof level have a depth of 1.1m and successfully mitigate downwards overlooking towards dwellings at the northern boundary (11-13 William Street)

Dwellings at grade

75. Original Drawings lodged with the application provided poor amenity for residents due to large windows being at grade that would have allowed for direct overlooking into the dwellings from the footpath level.
76. Amended drawings show vertical and horizontal separation from the footpath level by the introduction of steps from the footpath level, smaller windows facing the public domain, fence and landscaped plantings. The amendments successfully mitigate visual privacy impacts with regard for direct overlooking into the dwellings.

Streetscape presentation and desired streetscape character.

77. A reason the original scheme was recommended for refusal was that the building failed to meet the minimum standards required to demonstrate design excellence in accordance with 6.21(4) of SLEP2012. In particular, the proposal failed to provide a suitable building bulk, massing and n requested to amend the proposal to show:
 - (a) a greater degree of articulation for the upper levels of the primary facades of the development; as the top level of the building reads as a continuous vertical plane that adds to the perceived bulk of the building;
 - (b) a greater degree of articulation to be achieved through full-height indentations in the plan between individual dwellings, or groups of 2 dwellings; and
 - (c) the use of a lighter coloured, panelised material to break up the dark materiality of the upper level of the building.
78. The amended drawings have responded to the request for building bulk to be reduced. Blade walls have been removed from the northern and southern ends of the primary building facade and the bulk of the upper level facing William Street has been reduced by introducing recesses to the upper level planter boxes (Figure 25 above).

Driveway width

79. The proposal provides a driveway at the entry to the site with a width of 5m, which exceeds the maximum width control of 2.7m. The driveway width narrows within the site to 3.5m and does not provide sufficient width for 2 vehicles to pass one another.
80. The width at the driveway at the boundary is excessive in terms of dominating the entry to the site at William Lane. A condition is recommended that the width of the driveway must be reduced to 3.5m, to provide a consistent driveway width into the parking areas. The northern edge of the driveway (where it is required to be narrowed) shall be constructed as a continuation of the footway adjacent to the entry to dwelling T5.

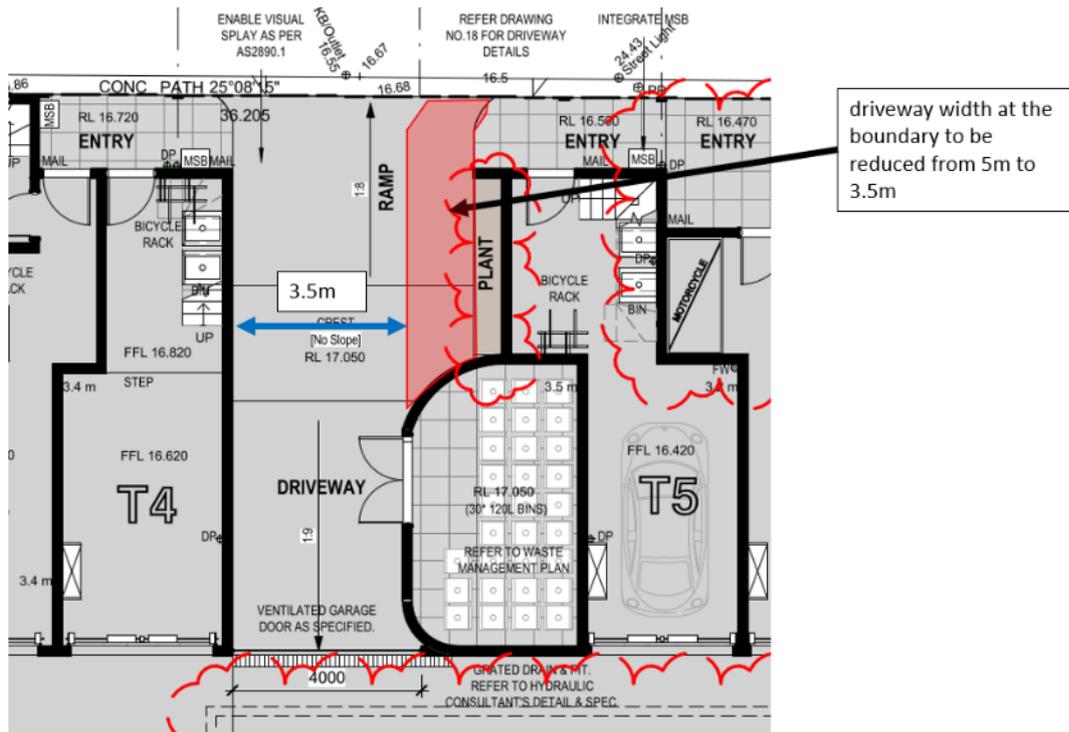


Figure 31: a condition is recommended to reduce the width of the entry driveway at William Lane

Consultation

Internal Referrals

81. The application was discussed with the City's Environmental Health Unit, Urban Design specialist, Public Domain Unit, Surveyors and Transport and Access Unit, who raised concerns with the proposed development. Amended drawings and supporting documents have been provided and reviewed by the City's specialists.

Environmental Health

82. The City's Environmental Health Unit requested additional contamination reports that have been submitted for assessment. The contamination reports are discussed above in the SEPP55 section.

Urban Design

83. Amended drawings have been submitted after the June LPP meeting to address issues raised by Council's Urban Designer. As above, and with regard to reducing building bulk, negative voids have been introduced for planter boxes at the upper levels of the building and prominent blade walls have been deleted from the northern and southern ends of the development.
84. The following conditions are recommended in relation to urban design issues:
- (a) a condition is recommended that privacy treatments to windows are to be redesigned (see discussion above);
 - (b) a condition is recommended to reduce the perceived building bulk. The cladding is to be changed to a lighter, mid-grey colour that is more in keeping with colours used for neighbouring residential development;
 - (c) all building services, including switch boards, meters, flues, vents, outlets are to be integrated into the external walls of the development; and
 - (d) internal bin storage areas are to be relocated from internal apartment areas to within the garage space and separated by a door.

Landscape Specialist

85. As outlined above, amended drawings have been submitted after the June LPP meeting to address issues raised by the City's Landscape specialist.
86. Additional conditions are recommended in relation to landscape design, including reducing the number of trees to be planted in garden beds (to ensure they have adequate space to reach full canopy) and ensuring that dividing fences do not penetrate down into garden beds (to avoid fragmentation of soil area within planter boxes throughout the development).
87. Planter boxes are provided at level 2 of the building for dwellings numbered T8-T14 (Figures 32 and 33 below). The design of planters provides for landscaped features that are dangerous and impractical to maintain for the future occupants of the dwellings. Issues with the design of the planters include:
- (a) the planters have a width of 2.3m and a depth of 1.2m. They are accessible only by ladder or from adjacent study and bathroom windows, making them dangerous to maintain for future occupants;
 - (b) the planters are covered by roof sections of level 3 above, and will not receive sufficient rainfall and solar access to ensure the success of future landscaped plantings.
88. Council's landscape specialist advises that the difficulties involved in maintaining future landscaped plantings within the Level 2 planters are likely to result in their failure, particularly as they will be maintained by individual tenants (rather than by a garden maintenance specialist engaged by an Owner's Corporation for example). It is therefore recommended that the Level 2 planters for dwellings numbered T8-T14 be deleted, and that the spaces currently containing the planters be redesigned to provide an alternative treatment that is in keeping with the aesthetics and materials of the overall development.



Figure 32: Extract from Level 2 plans showing planters located under level 3 rooms. The planters are not exposed to rain and have poor solar access. It is recommended the planters be deleted and building voids retained in their place.

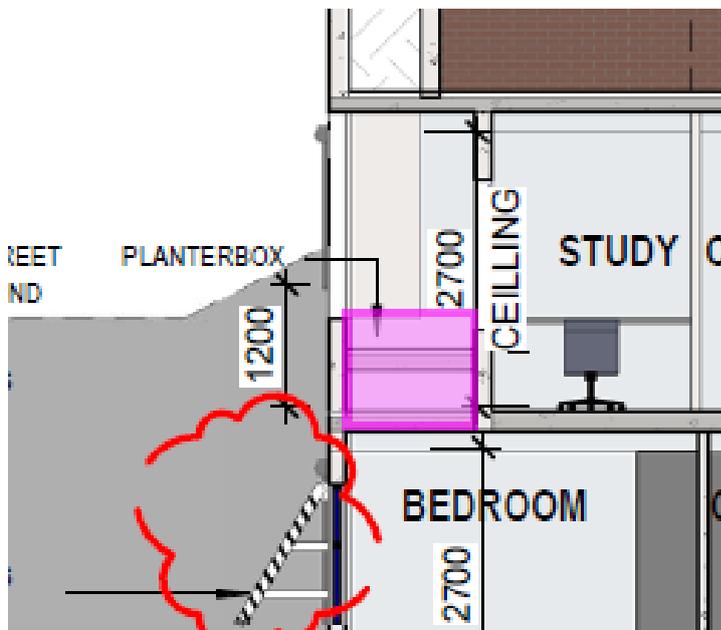


Figure 33: Level 2 planters are under roofs and are recommended to be deleted

Surveyors

89. Council's Surveyors have advised that subject to conditions of consent, the application (including proposed stratum subdivision), can be supported.

Transport and Access Unit

90. Council's Transport and Access Unit expressed concerns that pedestrian access to the rear townhouses at William Lane should be addressed by the provision of a regular footpath along the rear boundary of the site. With regard for this request, it is noted that there are no footpaths provided for any existing development along the eastern side of William Street. However, refuges are provided adjacent to entry doors for dwellings at William Lane and the requirement for a widened footpath along the western boundary of the site is therefore not required.

External Referrals

Ausgrid

91. Pursuant to Section 45 of the SEPP (Infrastructure) 2007, the application was referred to Ausgrid for comment. A response was received raising no objections to the proposed development.

Water NSW

92. Pursuant to Section 78 of the Sydney Water Act 1994, the application was referred to Water NSW for comment. A response was received raising no objections to the proposed development.

Advertising and Notification

93. In accordance with the City of Sydney Community Participation Plan 2019, the proposed development was notified and advertised for a period of 21 days between 28 October 2020 and 19 November 2020. Two submissions were received in objection to the proposal.
94. Due to an IT issue, the original notification letters were not mailed to neighbours. Consequently, the application was re-notified for a period of 14 days, between 2 June and 24 June 2021. No submissions were received following the re-notification of the proposal.
95. Amended drawings lodged after the 30 March 2021 LPP meeting show minor changes to the proposed development and a reduction in the scale of the development as viewed from the public domain and from central courtyards of neighbouring dwellings. As such, they have not been re-notified.

96. Submissions received following the initial notification period raised the following issues:
- (a) Issue: The proposal exceeds the FSR control and the height in storeys control, setting a poor precedent.
- Response: the amended proposal does not exceed the relevant FSR and height development standards. The proposal does exceed the height in storeys control as outlined above in the discussion section.
 - Notwithstanding this, the development as amended, provides a suitable scale to neighbouring development and will contribute to the desired future character of William Street and William Lane.
- (b) Issue: Loss of visual and acoustic privacy due to roof level terraces and overshadowing impacts.
- Response: proposed roof terraces are provided with planter boxes that prevent the direct overlooking into neighbouring dwellings. See discussion above in the Issues section.

Financial Contributions

Contribution under Section 7.11 of the EP&A Act 1979

97. The development is subject to a Section 7.11 development contribution of \$191,588 under the provisions of the City of Sydney Development Contributions Plan 2015.
98. Credits have been applied for the most recent approved use of the site, inclusive of 1,101sqm of a general industry land use.
99. A condition relating to this development contribution has been included in the recommended conditions of consent in the Notice of Determination. The condition requires the contribution to be paid prior to the issue of a construction certificate.

Contribution under Section 7.13 of the Sydney Local Environmental Plan 2012

100. The site is located within the Green Square affordable housing contribution area. The proposed development includes an additional net floor space greater than 200sqm. As such, a contribution is required at a rate of \$228.58 per square metre of 1,877sqm total residential floor area totalling \$429,044.66 A condition of consent is recommended requiring payment prior to the issue of a construction certificate.

Relevant Legislation

101. Environmental Planning and Assessment Act 1979.
102. Heritage Act 1977.

Conclusion

103. The amended proposal addresses the reasons for refusal as set out in Attachment D and elsewhere in this report.
104. The amended proposal provides suitable multi-dwelling housing that contributes to the character of the Green Square locality.
105. Subject to conditions, the proposed development will provide high residential amenity for future occupants of the site and will not have any significant environmental impacts for neighbouring dwellings.
106. Subject to recommended conditions of consent, the proposed development can satisfy the City's stormwater requirements.
107. It is recommended that authority be delegated to the Chief Executive Officer to determine the application following the conclusion of the public exhibition of the VPA and considering any public submissions received in response.

ANDREW THOMAS

Executive Manager Planning and Development

Adrian McKeown, Senior Planner.